

# COVERED BRIDGE TRAILS

## LEWES AND REHOBOTH HUNDRED

### SUSSEX COUNTY, DELAWARE

20761  
BK: 263 PG: 56

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## DBF # 0818C013

### SITE PLAN

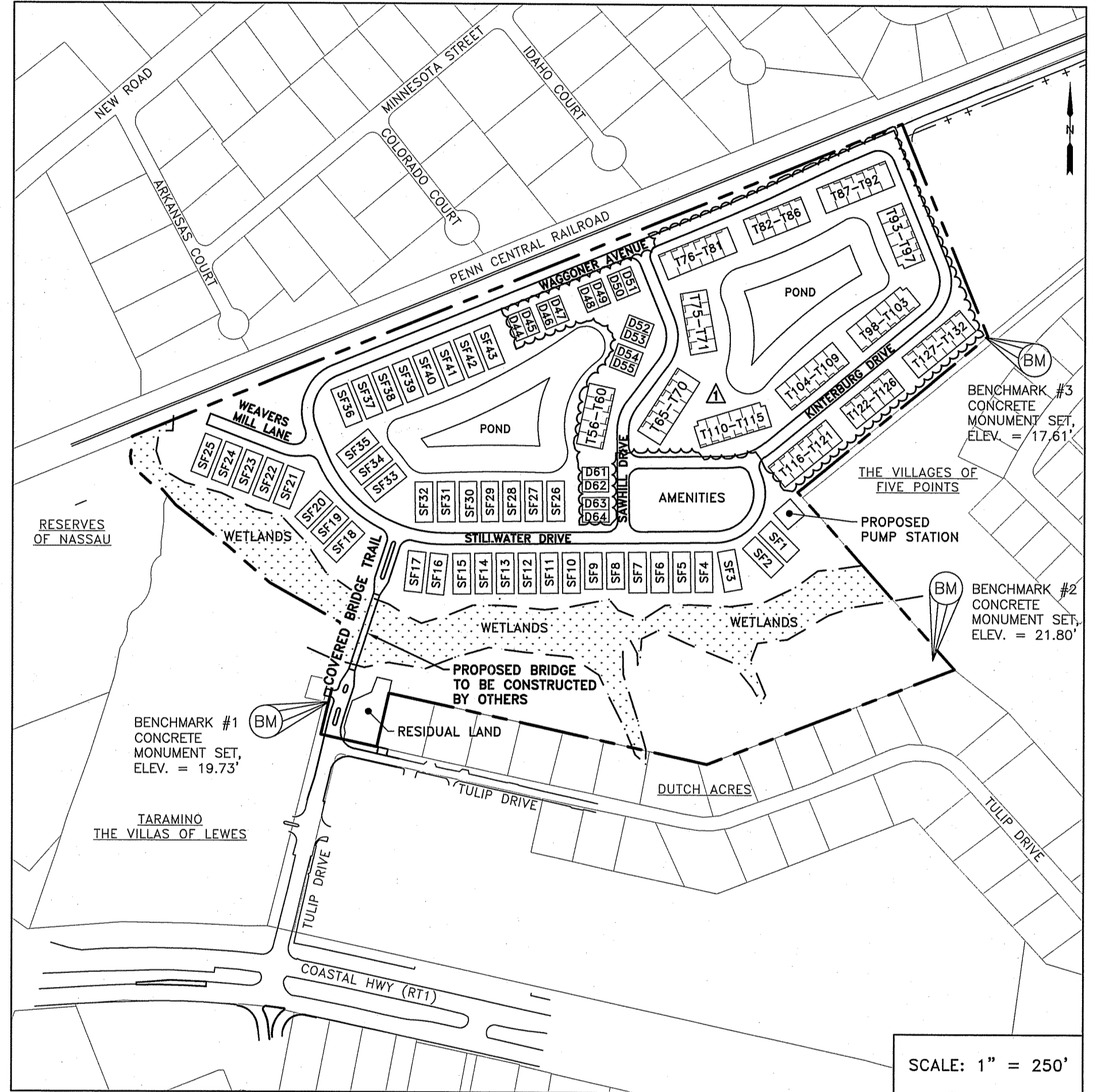
### SUSSEX COUNTY AGREEMENT #1031

### NOVEMBER, 2016

#### CONDITIONAL USE 2012 / COUNTY ORDINANCE 2430 CONDITIONS:

- A. THERE SHALL BE NO MORE THAN 134 UNITS BEING A MIXTURE OF 43 SINGLE FAMILY UNITS, AND THE BALANCE SPLIT BETWEEN DUPLEX UNITS AND TOWNHOUSE UNITS.
- B. THE APPLICANT SHALL FORM A HOMEOWNERS OR CONDOMINIUM ASSOCIATION RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF STREETS, ROADS, ANY BUFFERS, STORMWATER MANAGEMENT FACILITIES, EROSION AND SEDIMENTATION CONTROL FACILITIES AND OTHER COMMON AREAS.
- C. THE STORMWATER MANAGEMENT SYSTEM SHALL MEET OR EXCEED THE REQUIREMENTS OF THE STATE AND COUNTY. IT SHALL BE CONSTRUCTED AND MAINTAINED USING BEST MANAGEMENT PRACTICES.
- D. ALL ENTRANCE AND ROADWAY IMPROVEMENTS SHALL COMPLY WITH DELDOT REQUIREMENTS.
- E. AS OFFERED BY THE APPLICANT, A FIVE (5) FOOT EASEMENT ADJACENT TO THE RAILROAD RIGHT-OF-WAY SHALL BE DEDICATED FOR USE AS PART OF THE PROPOSED GEORGETOWN - LEWES TRAIL AND A PARKING AREA AS SHOWN ON THE PRELIMINARY SITE PLAN SHALL BE PROVIDED FOR ACCESS TO THE TRAIL FOR THE GENERAL PUBLIC.
- F. ROAD NAMING AND ADDRESSING SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE SUSSEX COUNTY MAPPING AND ADDRESSING DEPARTMENTS.
- G. A 20 FOOT WIDE PERIMETER BUFFER SHALL BE PROVIDED AS SHOWN ON THE PRELIMINARY SITE PLAN. THERE SHALL ALSO BE A 20 FOOT WIDE BUFFER ALONG THE COMMON BOUNDARY WITH THE VILLAGES OF FIVE POINTS DEVELOPMENT. THE LANDSCAPING PLAN, WHICH MAY INCLUDE EXISTING VEGETATION, SHALL BE INCLUDED AS PART OF THE FINAL SITE PLAN.
- H. THE DEVELOPMENT WILL BE SERVED AS PART OF A SUSSEX COUNTY SEWER DISTRICT AND CENTRAL WATER WILL BE PROVIDED BY A PUBLIC UTILITY COMPANY.
- I. THE CLUBHOUSE, POOL AND PLAYGROUND AMENITIES SHALL BE CONSTRUCTED PRIOR TO THE ISSUANCE OF THE 73RD RESIDENTIAL BUILDING PERMIT FOR THE PROJECT.
- J. FEDERAL WETLANDS SHALL BE MAINTAINED AS NON-DISTURBANCE AREAS, EXCEPT WHERE AUTHORIZED BY FEDERAL AND STATE PERMITS. THE WETLAND AREAS SHALL BE CLEARLY MARKED ON THE SITE WITH PERMANENT MARKERS TO PREVENT DISTURBANCE.
- K. AS PROPOSED BY THE APPLICANT, THERE SHALL BE A 20 FOOT BUFFER FROM ALL FEDERAL WETLANDS AND A 50 FOOT BUFFER FROM ALL TIDAL WETLANDS.
- L. ANY SITE REMEDIATION WORK REQUIRED BY DNRDC AS A RESULT OF THE SITE STUDY PERFORMED BY ENVIRONMENTAL ALLIANCE, INC. SHALL BE COMPLETED IN ACCORDANCE WITH ALL DNRDC INSTRUCTIONS.
- M. AS INDICATED BY THE APPLICANT, THE DEVELOPMENT SHALL BE OPERATED AS AN "AGE RESTRICTED, OVER 55" COMMUNITY AS THAT TERM IS GENERALLY INTERPRETED AND GOVERNED BY FEDERAL LAW.

1. CONSTRUCTION, SITE WORK, GRADING AND DELIVERIES OF CONSTRUCTION MATERIALS, LANDSCAPING MATERIALS AND FILL, ON, OFF AND TO THE PROPERTY SHALL ONLY OCCUR FROM MONDAY THROUGH FRIDAY BETWEEN THE HOURS OF 7:30 A.M. AND 6:00 P.M. THERE SHALL BE NO CONSTRUCTION, SITE WORK, GRADING, OR DELIVERIES ON SATURDAY OR SUNDAY.
2. NO VIBRATORY ROLLERS OR TAMPERS SHALL BE USED DURING ROAD CONSTRUCTION ON THE WEST SIDE OF THE WETLANDS ADJACENT TO DUTCH ACRES.
3. NO OFF-ROAD PARKING SHALL BE LOCATED ON THE WEST SIDE OF THE WETLANDS ADJACENT TO DUTCH ACRES THAT WOULD FACE THE REAR OF HOMES LOCATED ON TULIP DRIVE.
4. A TWENTY (20) FOOT FORESTED BUFFER WILL BE PLANTED AND MAINTAINED ALONG THE REAR OF LOTS IN DUTCH ACRES BORDERING THE SITE EXCEPT FOR LOTS 1, 2 AND 3, WHICH SHALL RECEIVE SIMILAR PLANTINGS AND THE MAXIMUM BUFFER PERMISSIBLE CONSIDERING THE LOCATION OF THE PROJECT ENTRANCE ROAD. THE BUFFER SHALL BE PLANTED WITHIN SIX (6) MONTHS OF THE COMMENCEMENT OF SITE CONSTRUCTION AND SHALL BE PLANTED WITH LELAND SPRUCE OR SIMILAR TREES FIVE (5) FEET OR HIGHER AND APPROPRIATE FIL-INSHRUBBERY IN ORDER TO CREATE A NATURAL SCREEN ALONG THE REAR OF THE DUTCH ACRES LOTS.
5. THE DEVELOPER SHALL SUPPORT AND ASSIST THE OWNERS OF LOTS IN DUTCH ACRES IN REQUESTING DELDOT'S APPROVAL OF TWO WAY STOP SIGNS AT THE INTERSECTION OF TULIP DRIVE AND ROAD "A" (THE SITE'S ENTRANCE ROAD). IT IS UNDERSTOOD THAT THIS ITEM IS SUBJECT TO DELDOT'S APPROVAL. THE DEVELOPER AGREES AND COMMITS TO PAY THE COST OF THE STOP SIGNS UPON THE APPROVAL OF DELDOT, PROVIDED SAID APPROVAL IS GRANTED WITHIN THREE YEARS FROM THE DATE OF FINAL SITE PLAN APPROVAL FOR THE DEVELOPMENT.
6. THE DEVELOPER SHALL SUPPORT AND ASSIST THE OWNERS OF LOTS IN DUTCH ACRES IN REQUESTING DELDOT'S APPROVAL OF A CUL-DE-SAC AT THE SOUTHERN END OF THE RESIDENTIAL SECTION OF TULIP DRIVE, IF DESIRED BY THE MAJORITY OF LOT OWNERS IN DUTCH ACRES. IT IS UNDERSTOOD THAT THIS ITEM IS SUBJECT TO DELDOT'S APPROVAL. THE DEVELOPER AGREES AND COMMITS TO PAY THE COST OF CONSTRUCTION OF A CUL-DE-SAC UPON APPROVAL OF DELDOT, PROVIDED SAID APPROVAL IS GRANTED WITHIN THREE YEARS FROM THE DATE OF THE FINAL SITE PLAN APPROVAL FOR THE DEVELOPMENT.
7. THE DEVELOPER SHALL SUPPORT AND ASSIST THE OWNERS OF LOTS IN DUTCH ACRES IN REQUESTING DELDOT'S APPROVAL OF A FULLY OPERATIONAL TRAFFIC SIGNAL AT THE NORTHERN INTERSECTION OF TULIP DRIVE AND ROUTE 1. THE DEVELOPER AGREES AND COMMITS THE SUM OF UP TO \$200,000 FOR THE SPECIFIC PURPOSE OF THE INSTALLATION OF A FULLY OPERATIONAL TRAFFIC SIGNAL AT THIS INTERSECTION, FOR A PERIOD OF THREE YEARS FROM THE DATE OF FINAL SITE PLAN APPROVAL FOR THE DEVELOPMENT. IT IS UNDERSTOOD THAT THIS ITEM IS SUBJECT TO DELDOT'S APPROVAL.
8. A CONSTRUCTION ENTRANCE WILL BE PROVIDED THROUGH THE PROPERTY OF ATLANTIC CONCRETE AND ALL CONSTRUCTION TRAFFIC SHALL UTILIZE THAT ENTRANCE ONLY.
9. NO UNITS SHALL BE CONSTRUCTED BETWEEN THE WETLANDS AROUND BLACK HOG GUT AND DUTCH ACRES AND THAT AREA SHALL REMAIN UNDISTURBED AND IN ITS NATURAL VEGETATIVE STATE.
10. ANY STREET AND/OR DRIVEWAY CROSSING OVER WETLANDS SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE U.S. ARMY CORPS OF ENGINEERS AND DNRDC, IF REQUIRED.
- O. AS REQUESTED BY THE VILLAGES OF FIVE POINTS, THERE SHALL NOT BE INTERCONNECTING TRAILS BETWEEN THE VILLAGES OF FIVE POINTS AND THE RAIL TRAIL. INSTEAD, THE AREA WHERE THE INTERCONNECTING TRAIL WAS TO BE LOCATED SHALL NOW BE A 20 FOOT WIDE VEGETATED BUFFER, LIKE OTHERS ALONG THE PERIMETER OF THE PROJECT.
- P. AS STATED BY THE APPLICANT, TREES SHALL BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE. THE FINAL SITE PLAN SHALL SHOW ALL AREAS WHERE EXISTING TREES WILL NOT BE DISTURBED.
- Q. THIS PRELIMINARY APPROVAL IS CONTINGENT UPON THE APPLICANT SUBMITTING A REVISED PRELIMINARY SITE PLAN EITHER DEPICTING OR NOTING THE CONDITIONS OF APPROVAL ON IT. THE STAFF SHALL APPROVE THE REVISED PRELIMINARY SITE PLAN UPON CONFIRMATION THAT THE CONDITIONS OF APPROVAL HAVE BEEN DEPICTED OR NOTED ON IT.
- R. THE FINAL SITE PLAN SHALL CONTAIN THE APPROVAL OF THE SUSSEX CONSERVATION DISTRICT FOR THE DESIGN AND LOCATION OF ALL STORMWATER MANAGEMENT AREAS AND EROSION AND SEDIMENTATION CONTROL FACILITIES.
- S. THE FINAL SITE PLAN SHALL BE SUBJECT TO THE REVIEW AND APPROVAL OF THE PLANNING AND ZONING COMMISSION.



#### DATA COLUMN

TAX MAP ID:	3-35-11.00-59.00
DATUM:	NAD 83 (DE STATE PLANE)
VERTICAL:	NAD 83 (DE STATE PLANE)
HORIZONTAL:	NAD 83 (DE STATE PLANE)
LAND USE:	VACANT (BORROW PIT)
EXISTING:	132 UNIT (AGE RESTRICTED COMMUNITY)
PROPOSED:	43 SINGLE FAMILY UNITS
	16 DUPLEX UNITS
	75 TOWNHOUSE UNITS
DENSITY:	4 UNITS PER AC.
PROPOSED:	3.57 UNITS PER AC.
ZONING:	MR (AGRICULTURAL/RESIDENTIAL)
EXISTING:	MR (MEDIUM RESIDENTIAL)
PROPOSED:	MR (MEDIUM RESIDENTIAL)
MINIMUM REQUIREMENTS:	
FRONT SETBACK:	40 FT.
SIDE SETBACK:	10 FT.
REAR SETBACK:	10 FT.
PARKING:	2 PER UNIT
MAXIMUM REQUIREMENTS:	
BUILDING HEIGHT:	42 FT.
PROPOSED:	
BUILDING HEIGHT:	38 FT. (2 STORIES)
PARKING:	3 SPACES
AREAS:	
EXISTING SITE:	PARCEL-99.00 36.935 AC.
	(WETLANDS 4.505 AC.)
SITE AREA:	36.935 AC.
PROPOSED SITE:	
PARCEL-A:	36.647 AC.
PARCEL-B (PUMP STATION):	0.057 AC.
PARCEL-C (RESIDUAL LAND):	0.231 AC.
SITE AREA:	36.935 AC.
UTILITIES:	
SEWER PROVIDER:	PUBLIC (SUSSEX COUNTY)
WATER PROVIDER:	PUBLIC (TIDEWATER UTILITIES, INC.)
PROPOSED BUILDING CONSTRUCTION:	WOOD/CONCRETE BLOCK
FLOODPLAIN - THE PROPERTY IS IMPACTED BY THE 100 YEAR FLOODPLAIN AS DETERMINED BY FEMA PANEL 10005C0193K DATED MARCH 15, 2015.	
PROPERTY OWNER/DEVELOPER:	COVERED BRIDGE TRAILS, LLC.
	BEN GORDY, AUTHORIZED REPRESENTATIVE
	20184 PHILLIPS STREET
	REHOBOTH, DE 19971
	302-227-3573
ENGINEER:	DAVIS, BOWEN, & FRIEDEL, INC.
	RING LARDNER, P.E.
	1 PARK AVENUE
	MILFORD, DE 19963
	PHONE: 302-424-1441
	FAX: 302-424-0430

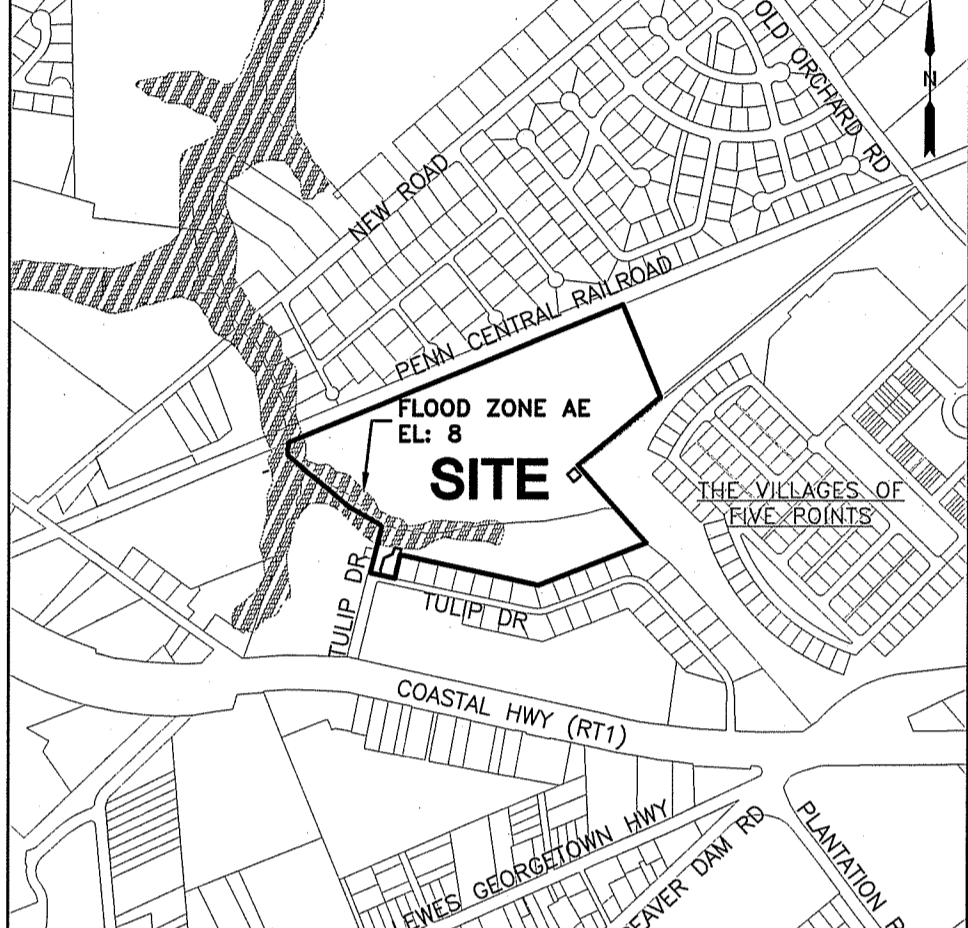
#### GENERAL NOTES:

- 1) ALL ENTRANCES SHALL CONFORM TO THE STATE OF DELAWARE DEPARTMENT OF TRANSPORTATION'S (DEDOT) STANDARDS AND REGULATIONS FOR SUBDIVISION STREETS AND STATE HIGHWAY ACCESS AND WILL BE SUBJECT TO ITS APPROVAL.
- 2) SUBDIVISION STREETS CONSTRUCTED WITHIN THE LIMITS OF THE RIGHT-OF-WAY ARE PRIVATE AS SHOWN ON THIS PLAN AND ARE TO BE MAINTAINED BY THE DEVELOPER, PROPERTY OWNERS OR BOTH. THE STATE OF DELAWARE ASSUMES NO MAINTENANCE RESPONSIBILITIES FOR THE FUTURE MAINTENANCE OF THESE STREETS.
- 3) THE SIDEWALK SHALL BE THE RESPONSIBILITY OF THE DEVELOPER, THE PROPERTY OWNERS OR BOTH WITHIN THIS SUBDIVISION. THE STATE OF DELAWARE ASSUMES NO RESPONSIBILITY FOR THE FUTURE MAINTENANCE OF THE SIDEWALK.
- 4) ALL UNITS SHALL HAVE ACCESS FROM THE INTERNAL SUBDIVISION STREET. EACH UNIT WILL BE PERMITTED TO HAVE ONLY ONE ACCESS POINT TO SERVE THE ENTIRE PARCEL. HORSESHOE DRIVEWAYS WILL NOT BE PERMITTED.
- 5) ALL MATERIALS AND WORKMANSHIP SHALL MEET THE STATE OF DELAWARE STANDARDS AND SPECIFICATIONS, DATED AUGUST 2001.
- 6) ALL DISTURBED AREAS WITHIN THE STATE RIGHT-OF-WAY, BUT NOT IN PAVEMENT, SHALL BE TOPSOILED (6" MINIMUM), FERTILIZED AND SEEDDED.
- 7) A 72 HOUR (MINIMUM) NOTICE SHALL BE GIVEN TO THE DISTRICT PERMIT SUPERVISOR PRIOR TO STARTING ENTRANCE CONSTRUCTION.
- 8) MISS UTILITY SHALL BE NOTIFIED THREE (3) CONSECUTIVE WORKING DAYS PRIOR TO EXCAVATION, AT 1-800-282-8555.
- 9) ALL SIGNING FOR MAINTENANCE OF TRAFFIC IS THE CONTRACTORS' RESPONSIBILITY AND SHALL FOLLOW THE GUIDELINES SHOWN IN "TRAFFIC CONTROLS FOR STREETS AND HIGHWAY CONSTRUCTION, MAINTENANCE, UTILITY AND EMERGENCY OPERATIONS." (LATEST EDITION)
- 10) ALL TRAFFIC CONTROL DEVICES SHALL BE IN NEW OR REFURBISHED CONDITION, SHALL COMPLY WITH THE TRAFFIC CONTROL MANUAL, SHALL BE NCHRP - 350 APPROVED, AND SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION. TRAFFIC CONTROL DEVICES SHALL BE MAINTAINED IN GOOD CONDITION FOR DURATION OF USE.
- 11) DESIGN, FABRICATION, AND INSTALLATION OF ALL PERMANENT SIGNING SHALL BE AS OUTLINED IN THE "GUIDE FOR FABRICATION AND INSTALLATION OF TRAFFIC CONTROL DEVICES."
- 12) "PAVEMENT MARKING MATERIAL WILL MATCH EXISTING, DURABLE MARKINGS (I.E. THERMO, EPOXY) WILL BE REQUIRED FOR NEW STRIPING, IF THEY EXIST IN THE FIELD."
- 13) ALL STEEL USED IN CATCH BASINS MUST BE 60 KSI.
- 14) ALL FIRE LANES, FIRE HYDRANTS, AND FIRE DEPARTMENT CONNECTIONS SHALL BE MARKED IN ACCORDANCE WITH THE DELAWARE STATE FIRE PREVENTION REGULATIONS. BUILDING CONSTRUCTION TO BE MAINTAINED.
- 15) THE SUSSEX CONSERVATION DISTRICT RESERVES THE RIGHT TO ADD, MODIFY OR DELETE ANY EROSION AND SEDIMENT CONTROL MEASURES AS THEY DEEM NECESSARY.
- 16) NO BUILDING PERMIT WILL BE ISSUED UNTIL EITHER ALL REQUIRED IMPROVEMENTS HAVE BEEN INSTALLED, CONSTRUCTED, OR PLACED FOR THE LOT FOR WHICH THE BUILDING PERMIT IS TO BE ISSUED IN A MANNER ACCEPTABLE TO THE COUNTY AND STATE, OR UNTIL THE DEVELOPER FILES A PERFORMANCE BOND OR OTHER GUARANTEE WITH THE COUNTY FOR ANY UNCOMPLETED PUBLIC OR PRIVATE STREET OR OTHER REQUIRED IMPROVEMENT.
- 17) AFTER THE CREATION OF THE COMMUNITY'S HOMEOWNER'S ASSOCIATION ALL BUFFER AREAS, AND THE STORMWATER MANAGEMENT AREA, SHALL BE OWNED AND MAINTAINED BY THE COMMUNITY'S HOMEOWNER'S ASSOCIATION. THE DEVELOPER SHALL MAINTAIN THESE AREAS UNTIL THE COMMUNITY HOMEOWNER'S ASSOCIATION IS ESTABLISHED.
- 18) THE FINAL OVERLAY OF HOT MIX - TYPE C FOR ALL STREETS WITHIN THE DEVELOPMENT WILL NOT BE PERMITTED UNTIL 75% OF THE HOMES ARE COMPLETELY CONSTRUCTED, IF FINAL OVERLAY IS CONDUCTED WITHOUT THE COUNTY KNOWLEDGE AND/OR APPROVAL, THEN THE COUNTY HAS THE RIGHT TO HAVE THE OWNER/DEVELOPER ROTOMILL AND OVERLAY, WITH ALL COSTS BEING PAID FOR BY THE DEVELOPER.

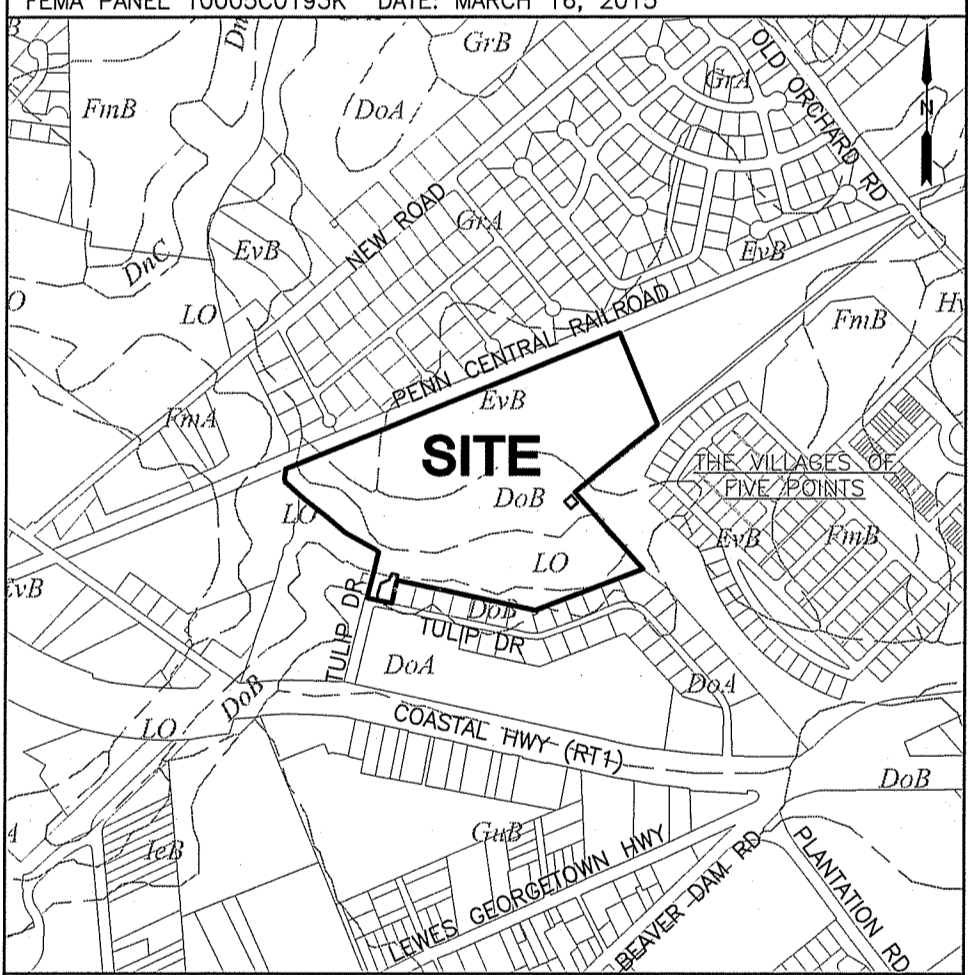
#### LEGEND

EXISTING	PROPOSED
BOUNDARY LINE	RIGHT-OF-WAY / BOUNDARY LINE
ADJACENT PROPERTY OWNER	EASEMENT
EASEMENT	FORESTED BUFFER
CONTOUR	WETLANDS BUFFER
CATCH BASIN, STORM PIPE	STREAM BUFFER
SANITARY SEWER MANHOLE, PIPE	CATCH BASIN, STORM PIPE, STORM MANHOLE, LABELS
WATER MAIN	SWALE
FIRE HYDRANT ASSEMBLY	SANITARY SEWER IDENTIFICATION, MANHOLE, PIPE, FLOW ARROW, PIPE SIZE
UTILITY POLE	WATER MAIN, TEE W/ VALVES, PIPE SIZE
SIGN	FIRE HYDRANT ASSEMBLY
FENCE	TREE LINE
TREE	PAVEMENT / FULL DEPTH TYPE I
TREE LINE	PAVEMENT / FULL DEPTH TYPE II
WETLANDS	PAVEMENT
	SIDEWALK

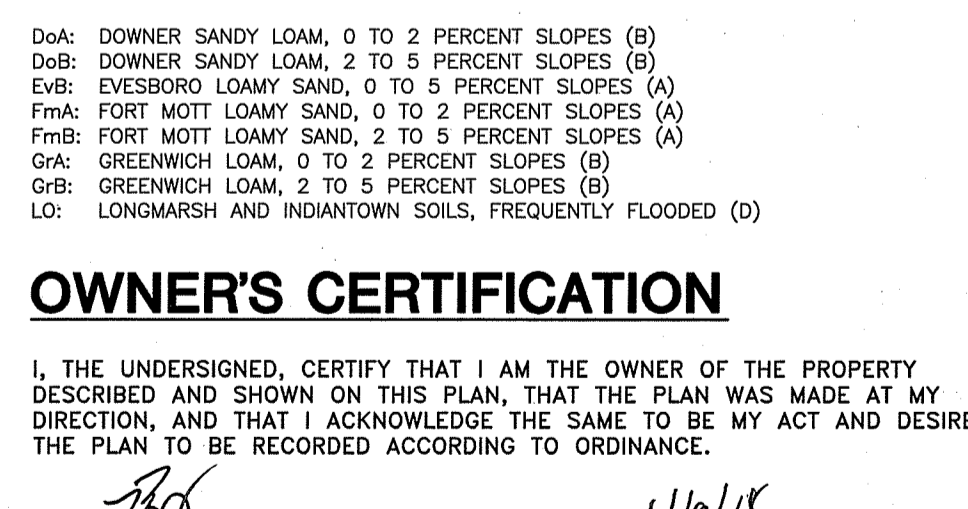
#### LOCATION MAP



#### FLOODPLAIN MAP



#### SOILS MAP



#### OWNER'S CERTIFICATION

I, THE UNDERSIGNED, CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED AND SHOWN ON THIS PLAN, THAT THE PLAN WAS MADE AT MY DIRECTION, AND THAT I ACKNOWLEDGE THE SAME TO BE MY ACT AND DESIRE THE PLAN TO BE RECORDED ACCORDING TO ORDINANCE.

COVERED BRIDGE TRAILS, LLC  
BEN GORDY, AUTHORIZED REPRESENTATIVE  
20184 PHILLIPS STREET  
REHOBOTH BEACH, DE 19971  
PHONE: (302)-227-3573

#### ENGINEER'S STATEMENT

I, RING W. LARDNER, P.E., HEREBY STATE THAT I AM A REGISTERED ENGINEER IN THE STATE OF DELAWARE, THAT THE INFORMATION SHOWN HEREON HAS BEEN PREPARED UNDER MY SUPERVISION AND TO MY BEST KNOWLEDGE AND BELIEF REPRESENTS GOOD ENGINEERING PRACTICES AS REQUIRED BY THE APPLICABLE LAWS OF THE STATE OF DELAWARE.

#### WETLANDS STATEMENT

THE WATERS AND WETLANDS WERE IDENTIFIED ON THE SITE AND MAPPED BY WATERSHED ECO, LLC AS DETAILED IN A REPORT PREPARED ON MAY 8, 2014. THE U.S. ARMY CORPS OF ENGINEERS ISSUED A JURISDICTIONAL DETERMINATION (CENAP-OP-R 2014-1259-23) ON FEBRUARY 4, 2015 BASED ON THE WATERSHED ECO MAPPING AND REPORT. THE MAPPING ON THIS PLAN REPRESENTS THE WATERS AND WETLANDS DETERMINED TO BE JURISDICTIONAL BY THE U.S. ARMY CORPS OF ENGINEERS.

WATERSHED ECO, LLC  
JAMES C. MCCULLLEY, IV  
PWS #008471

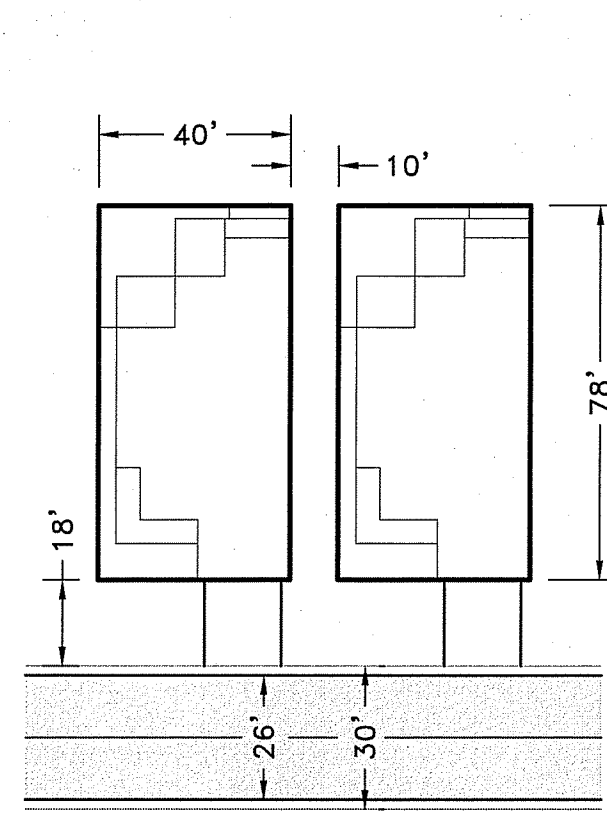
SUSSEX COUNTY ENGINEERING DEPARTMENT  
AGREEMENT NUMBER: #1031  
APPROVED BY:  
COUNTY ENGINEER DATE

- REVISED:
- 2017-04-06 CLIENT, TIDEWATER, FIRE MARSHAL, SCE, DELDOT, SCC, PAZ, YORK BRIDGE, DBF
  - 2017-05-04 SCE, TIDEWATER, SCC
  - 2017-06-15 SCE (PSAFM)
  - 2017-07-27 SCE (PSAFM), TIDEWATER
  - 2018-02-23 CLIENT
  - 2018-03-16 TIDEWATER
  - 2018-03-26 SCE (SEWER)

**dbf** DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS, ENGINEERS & SURVEYORS

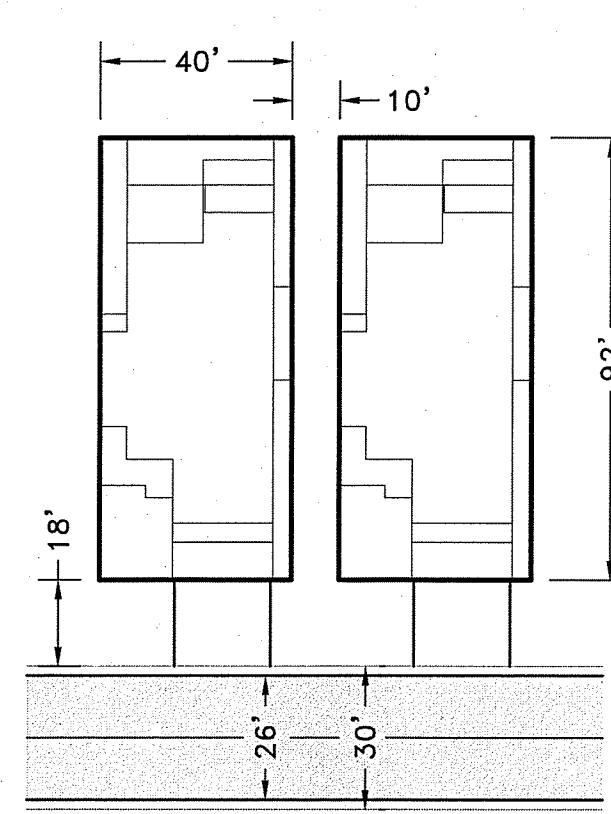
SALISBURY, MARYLAND (410) 543-9091  
MILFORD, DELAWARE (302) 424-1441  
EASTON, MARYLAND (410) 770-4744

SP-01



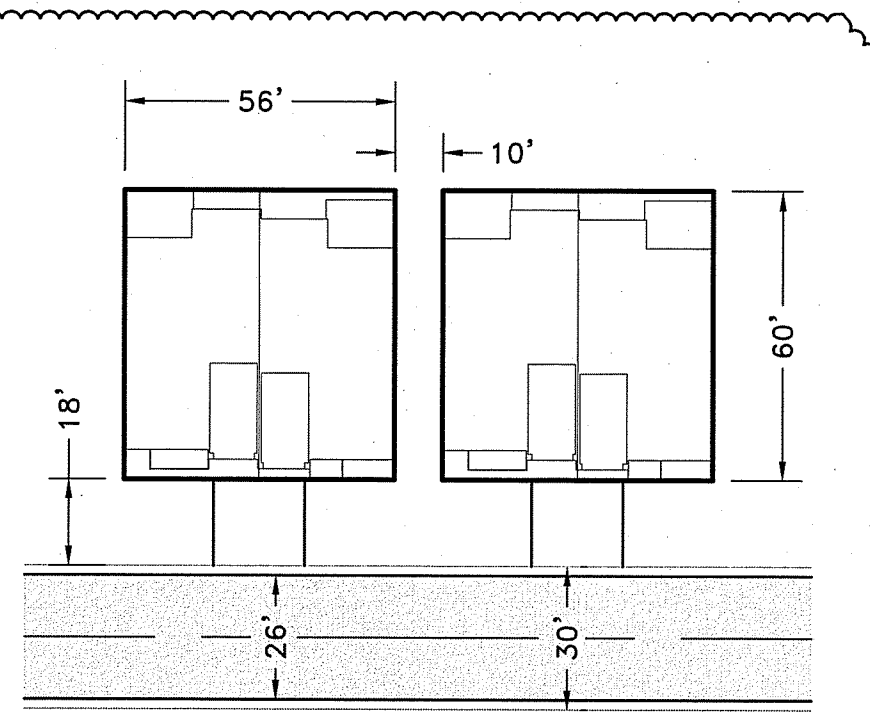
**TYPICAL SMALL SINGLE FAMILY**

SCALE: 1" = 40'



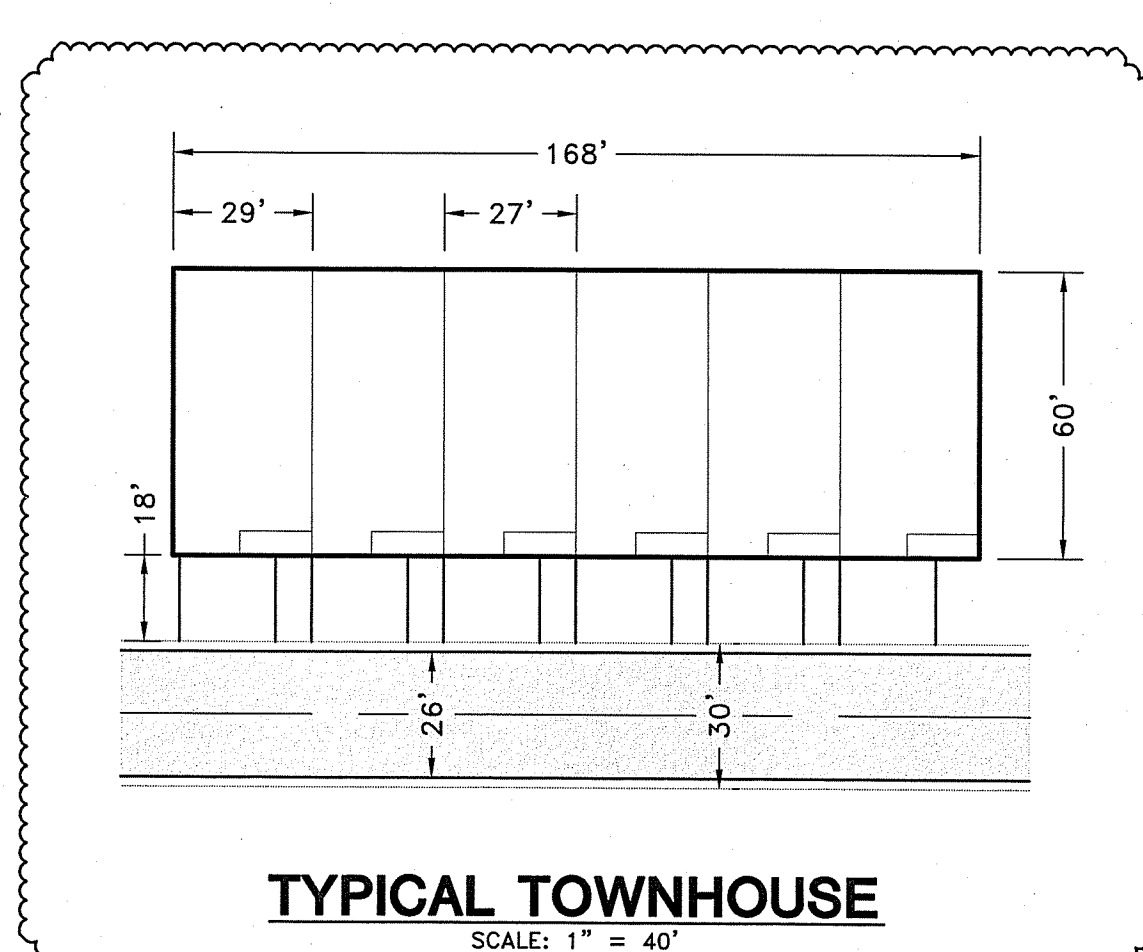
**TYPICAL LARGE SINGLE FAMILY**

SCALE: 1" = 40'



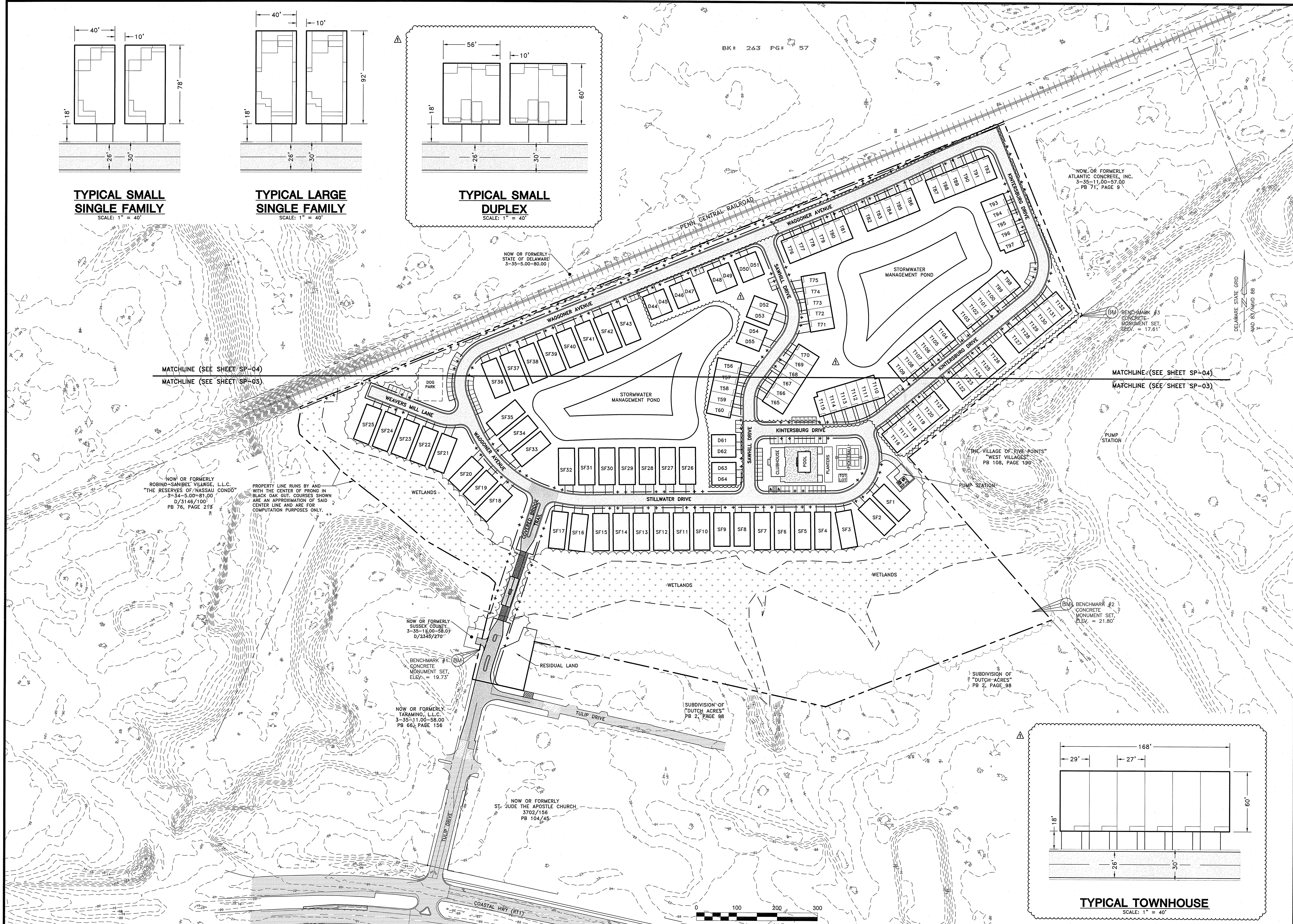
**TYPICAL SMALL DUPLEX**

SCALE: 1" = 40'

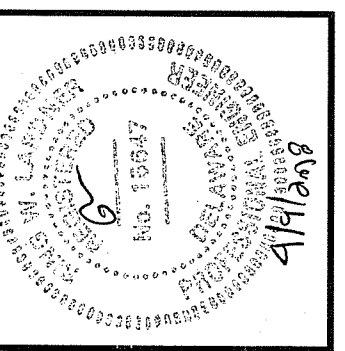


**TYPICAL TOWNHOUSE**

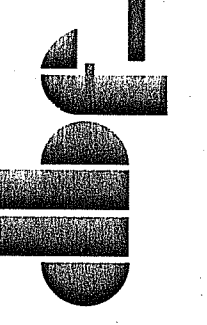
SCALE: 1" = 40'



BK: 263 PG: 57



**DAVIS, BOWEN & FRIEDEL, INC.**  
 ARCHITECTS, ENGINEERS & SURVEYORS  
 SALISBURY, MARYLAND (410) 543-9091  
 WILMINGTON, DELAWARE (302) 421-1444  
 MILFORD, DELAWARE (302) 421-1441



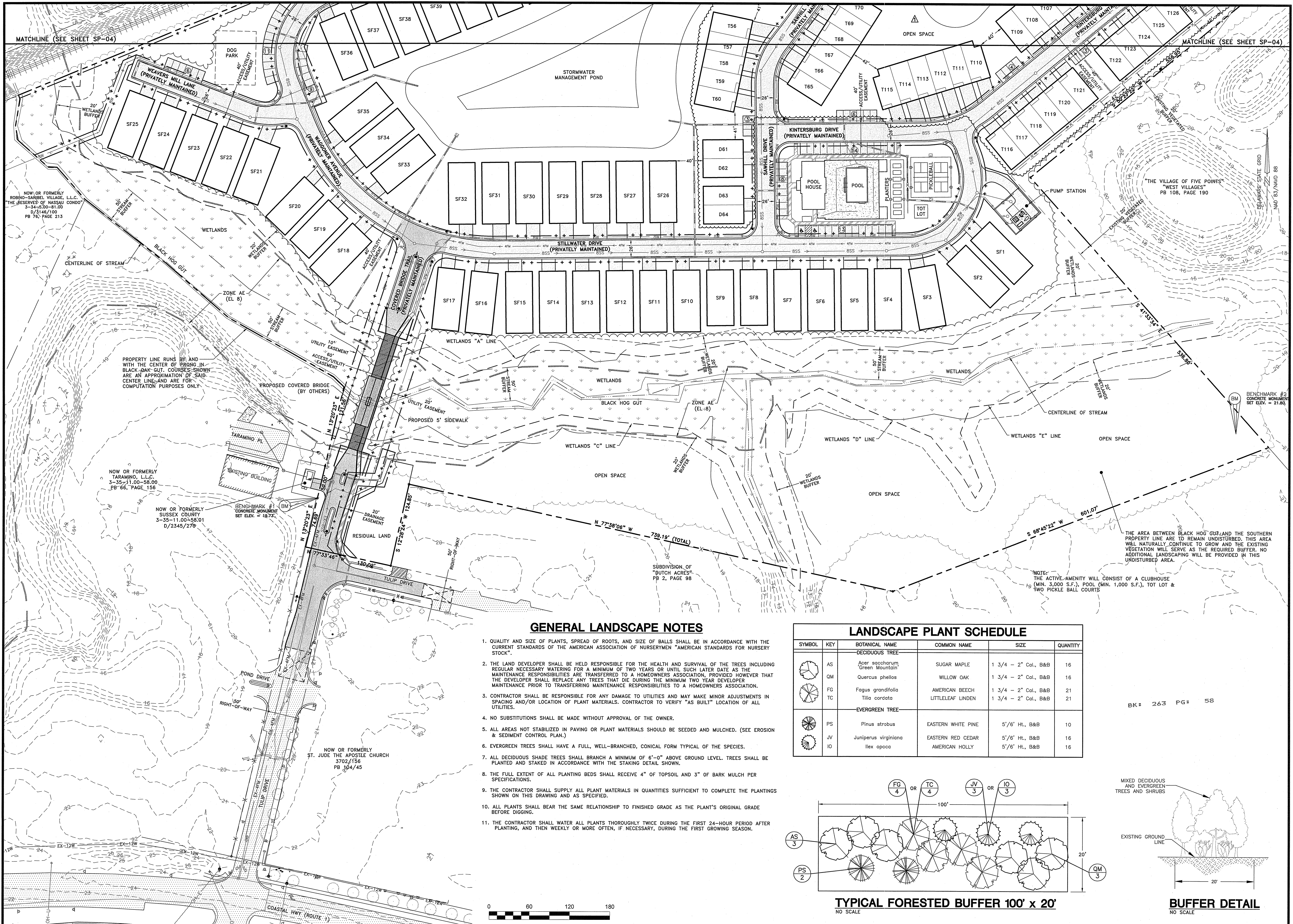
**SITE PLAN - OVERVIEW**

**COVERED BRIDGE TRAILS  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE**

REVISED:  
 2017-04-06 CLIENT, TIDEWATER, FIRE MARSHAL, SCE, DELAWARE, SC, PAZ, YORK BRIDGE, RBF  
 2017-05-04 SCE, TIDEWATER, SCJ  
 2017-06-15 SCE (PS&M), SCJ  
 2017-07-27 SCE (PS&M), TIDEWATER  
 2018-02-23 CLIENT, TIDEWATER  
 2018-03-16 TIDEWATER  
 2018-03-26 SCE (SEWER) A

Date: **NOVEMBER, 2016**  
 Scale: **AS NOTED**  
 Dwn.By: **KJK**  
 Proj.No.: **0818C013**  
 Dwg.No.:

**SP-02**

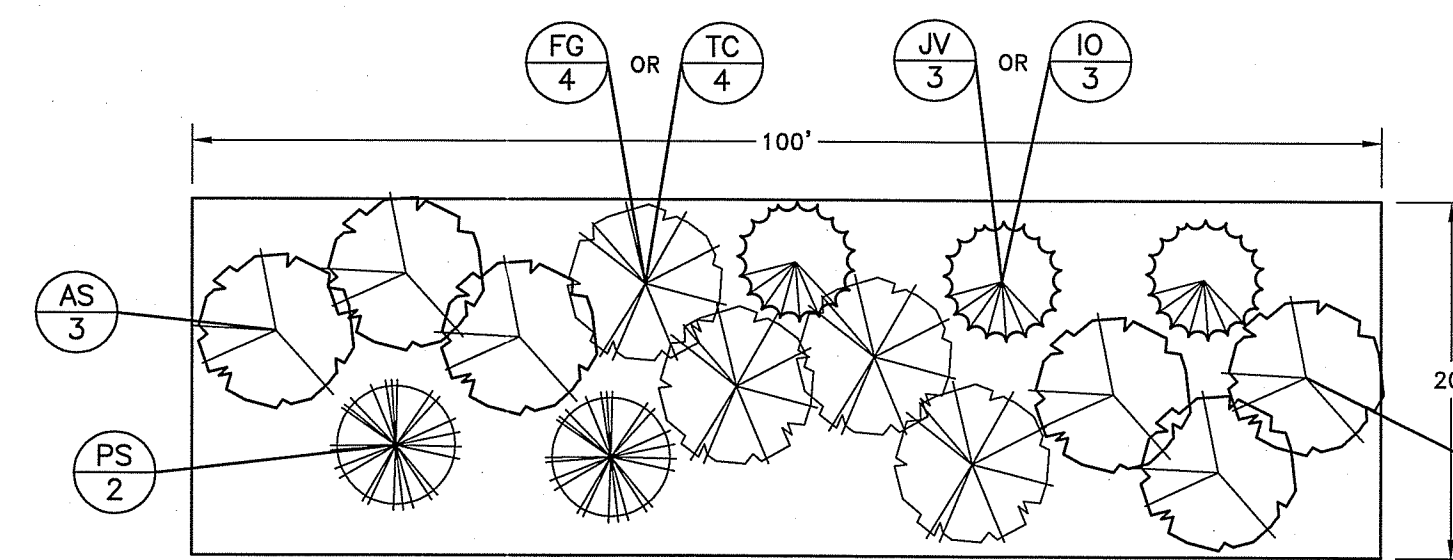


**GENERAL LANDSCAPE NOTES**

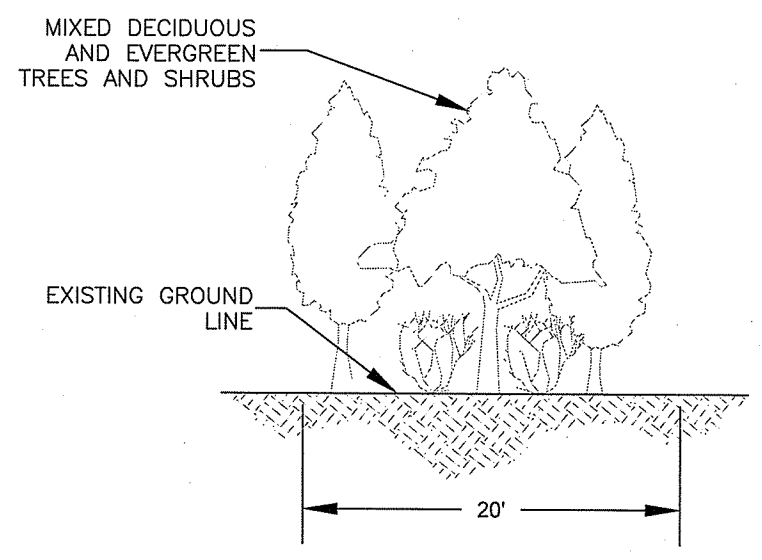
1. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN "AMERICAN STANDARDS FOR NURSERY STOCK".
2. THE LAND DEVELOPER SHALL BE HELD RESPONSIBLE FOR THE HEALTH AND SURVIVAL OF THE TREES INCLUDING REGULAR NECESSARY WATERING FOR A MINIMUM OF TWO YEARS OR UNTIL SUCH LATER DATE AS THE MAINTENANCE RESPONSIBILITIES ARE TRANSFERRED TO A HOMEOWNERS ASSOCIATION, PROVIDED HOWEVER THAT THE DEVELOPER SHALL REPLACE ANY TREES THAT DIE DURING THE MINIMUM TWO YEAR DEVELOPER MAINTENANCE PRIOR TO TRANSFERRING MAINTENANCE RESPONSIBILITIES TO A HOMEOWNERS ASSOCIATION.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AND MAY MAKE MINOR ADJUSTMENTS IN SPACING AND/OR LOCATION OF PLANT MATERIALS. CONTRACTOR TO VERIFY "AS BUILT" LOCATION OF ALL UTILITIES.
4. NO SUBSTITUTIONS SHALL BE MADE WITHOUT APPROVAL OF THE OWNER.
5. ALL AREAS NOT STABILIZED IN PAVING OR PLANT MATERIALS SHOULD BE SEEDED AND MULCHED. (SEE EROSION & SEDIMENT CONTROL PLAN.)
6. EVERGREEN TREES SHALL HAVE A FULL, WELL-BRANCHED, CONICAL FORM TYPICAL OF THE SPECIES.
7. ALL DECIDUOUS SHADE TREES SHALL BRANCH A MINIMUM OF 6'-0" ABOVE GROUND LEVEL. TREES SHALL BE PLANTED AND STAKED IN ACCORDANCE WITH THE STAKING DETAIL SHOWN.
8. THE FULL EXTENT OF ALL PLANTING BEDS SHALL RECEIVE 4" OF TOPSOIL AND 3" OF BARK MULCH PER SPECIFICATIONS.
9. THE CONTRACTOR SHALL SUPPLY ALL PLANT MATERIALS IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTINGS SHOWN ON THIS DRAWING AND AS SPECIFIED.
10. ALL PLANTS SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS THE PLANT'S ORIGINAL GRADE BEFORE DIGGING.
11. THE CONTRACTOR SHALL WATER ALL PLANTS THOROUGHLY TWICE DURING THE FIRST 24-HOUR PERIOD AFTER PLANTING, AND THEN WEEKLY OR MORE OFTEN, IF NECESSARY, DURING THE FIRST GROWING SEASON.

**LANDSCAPE PLANT SCHEDULE**

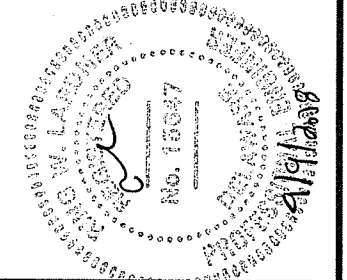
SYMBOL	KEY	BOTANICAL NAME	COMMON NAME	SIZE	QUANTITY
<b>DECIDUOUS TREE</b>					
AS		<i>Acer saccharum</i> Green Mountain	SUGAR MAPLE	1 3/4 - 2" Cal., B&B	16
QM		<i>Quercus phellos</i>	WILLOW OAK	1 3/4 - 2" Cal., B&B	16
FG		<i>Fagus grandifolia</i>	AMERICAN BEECH	1 3/4 - 2" Cal., B&B	21
TC		<i>Tilia cordata</i>	LITTLELEAF LINDEN	1 3/4 - 2" Cal., B&B	21
<b>EVERGREEN TREE</b>					
PS		<i>Pinus strobus</i>	EASTERN WHITE PINE	5/6' Ht., B&B	10
JV		<i>Juniperus virginiana</i>	EASTERN RED CEDAR	5/6' Ht., B&B	16
IO		<i>Ilex opaca</i>	AMERICAN HOLLY	5/6' Ht., B&B	16



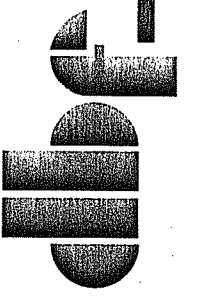
**TYPICAL FORESTED BUFFER 100' x 20'**  
NO SCALE



**BUFFER DETAIL**  
NO SCALE



DAVIS, BOWEN & FRIEDEL, INC.  
ARCHITECTS, ENGINEERS & SURVEYORS  
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EASTON, MARYLAND (410) 770-4744  
MILFORD, DELAWARE (302) 424-1441



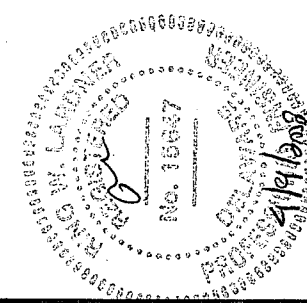
**SITE PLAN - PLAN VIEW**

**COVERED BRIDGE TRAILS  
LEWES AND REHOBOTH HUNDRED  
SUSSEX COUNTY, DELAWARE**

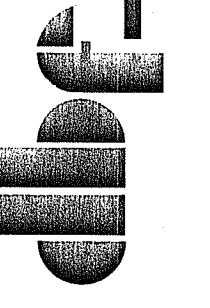
REVISED:  
2017-04-06 CLIENT, TIDEWATER, FIRE MARSHAL, SCE, DELDOT, SCD, P&Z, YORK BRIDGE, DSR  
2017-05-04 SCE, TIDEWATER, SCD  
2017-06-15 SCE (PS&FM), TIDEWATER  
2017-07-27 SCE (PS&FM), TIDEWATER  
2018-02-23 CLIENT  
2018-03-16 TIDEWATER  
2018-03-26 SCE (SEWER) A

Date: **NOVEMBER, 2016**  
Scale: **1" = 60'**  
Dwn.By: **KJK**  
Proj.No.: **0818C013**  
Dwg.No.:

**SP-03**



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 EASTON, MARYLAND (410) 770-4744  
 MILFORD, DELAWARE (302) 624-1441



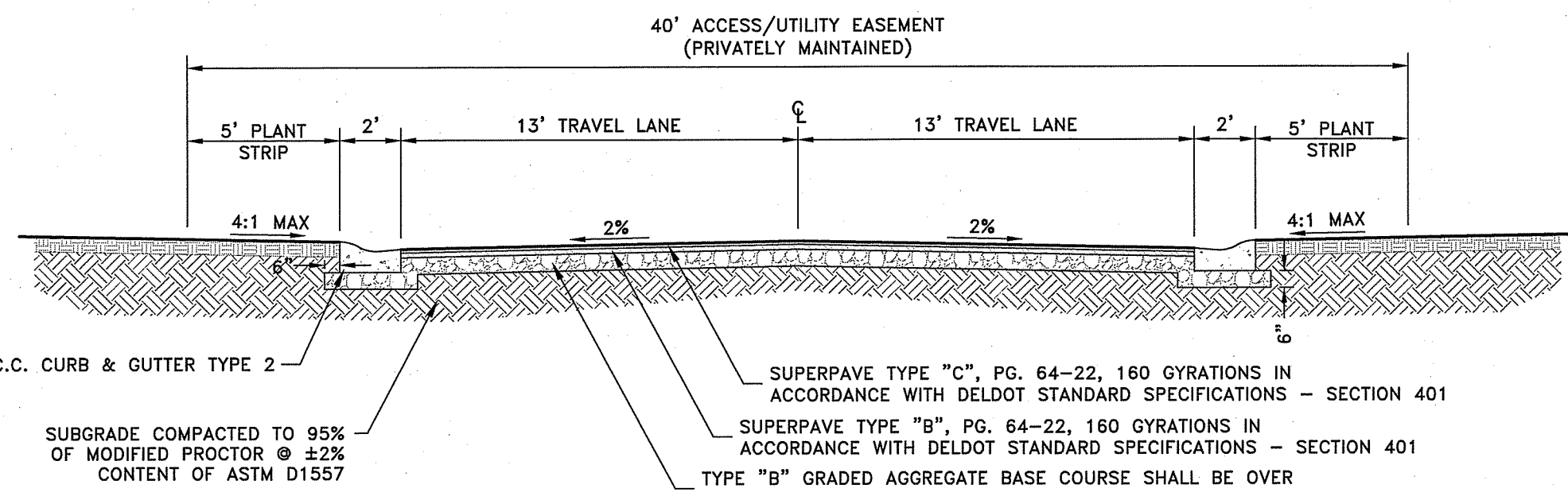
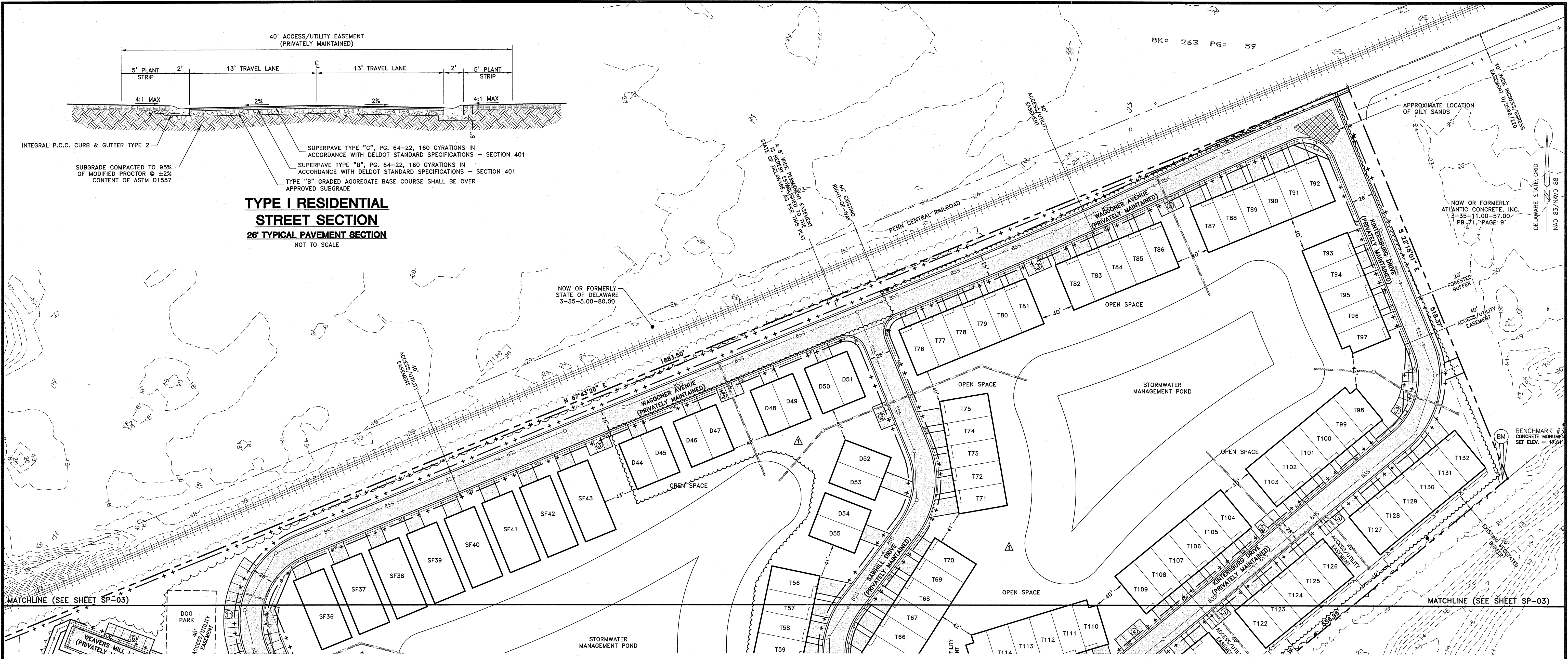
SITE PLAN - PLAN VIEW

COVERED BRIDGE TRAILS  
 LEWES AND REHOBOTH HUNDRED  
 SUSSEX COUNTY, DELAWARE

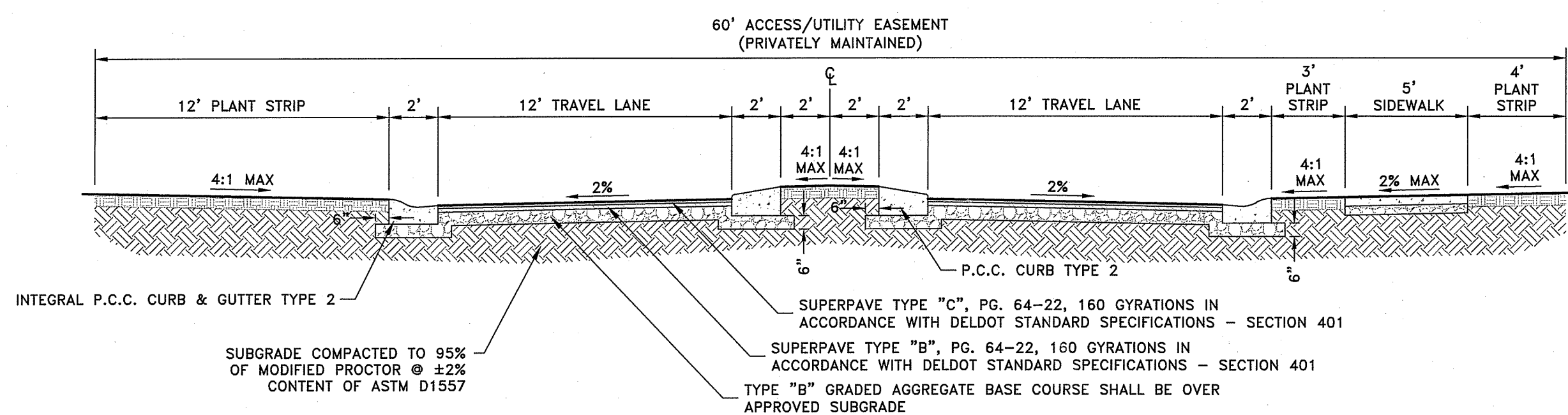
REVISIONS:  
 2017-04-06 CLIENT, TIDEWATER, FIRE MARSHAL, SCE, DELDOT, SD, P&Z, YORK BRIDGE, DBF, SD  
 2017-05-04 SCE, TIDEWATER, SD  
 2017-06-15 SCE (PS&FM)  
 2017-07-27 SCE (PS&FM)  
 2018-02-23 CLIENT  
 2018-03-16 TIDEWATER  
 2018-03-26 SCE (SEWER) A

Date: NOVEMBER, 2016  
 Scale: 1" = 60'  
 Dwn.By: KJK  
 Proj.No.: 0818C013  
 Dwg.No.:

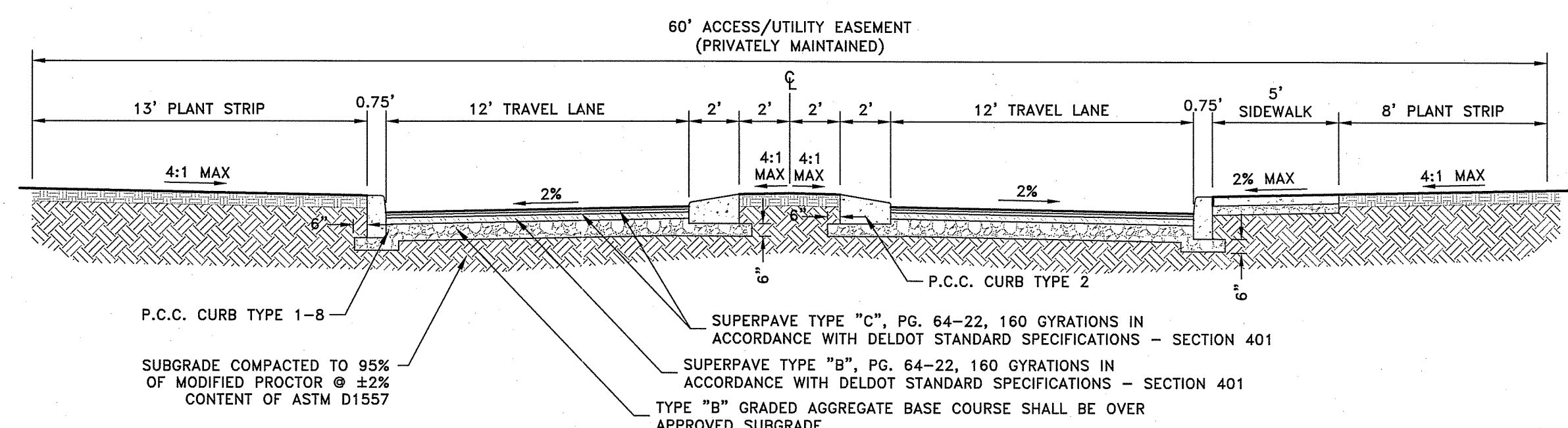
SP-04



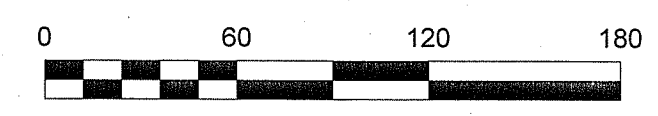
**TYPE I RESIDENTIAL STREET SECTION**  
**28' TYPICAL PAVEMENT SECTION**  
 NOT TO SCALE



**TYPE II RESIDENTIAL STREET SECTION**  
**24' TYPICAL PAVEMENT SECTION**  
 NOT TO SCALE



**TYPE II RESIDENTIAL STREET SECTION**  
**24' TYPICAL PAVEMENT SECTION**  
 NOT TO SCALE



Recorder of Deeds  
 Scott D. Miller  
 Jun 08 2018 10:24A  
 Sussex County  
 Doc. Surcharge Paid